

Recorded: 4/7/2026 at 8:02:24.0 AM
County Recording Fee: \$12.00
Iowa E-Filing Fee: \$3.00
Combined Fee: \$15.00
Revenue Tax: \$658.40
Delaware County, Iowa
Daneen Schindler RECORDER
BK: 2026 PG: 797

Return Document To: Mikaela Wright & Dylan Wright, 801 Hickory Lane, Delhi, IA 52223
Preparer Information: SAMUEL M. DEGREE, 300 Main Street, Suite 323, Dubuque, IA 52001, (563) 582-2000
Address Tax Statement: Mikaela Wright & Dylan Wright, 801 Hickory Lane, Delhi, IA 52223

WARRANTY DEED

For the consideration of TEN AND NO/100 (\$10.00) Dollar(s) and other valuable consideration, KEITH D. GUDENKAUF and SUSAN M. GUDENKAUF, husband and wife, does hereby Convey to MIKAELA WRIGHT and DYLAN WRIGHT, as joint tenants with full rights of survivorship and not as tenants in common, the following described real estate in Delaware County, Iowa:

Lot Eight (8) of Sands Woodland Addition, Part of the NW ¼ of the NW ¼ & Part of the NE ¼ of the NW ¼ of Section 20, T88N, R4W of the Fifth Principal Meridian, Delaware County, Iowa, according to the plat recorded in Book 6 Plats, Page 189.

Grantors do Hereby Covenant with grantees, and successors in interest, that grantors hold the real estate by title in fee simple; that they have good and lawful authority to sell and Convey the real estate; that the real estate is free and clear of all liens and encumbrances except as may be above stated; and grantors Covenant to Warrant and Defend the real estate against the lawful claims of all persons except as may be above stated. Each of the undersigned hereby relinquishes all rights of dower, homestead and distributive share in and to the real estate. Words and phrases herein, including acknowledgment hereof, shall be construed as in the singular or plural number, and as masculine or feminine gender, according to the context.

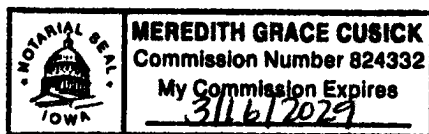
Dated: April 6, 2026

Keith D. Gudenkauf
Keith D. Gudenkauf (Grantor)

Susan M. Gudenkauf
Susan M. Gudenkauf (Grantor)

STATE OF IOWA, COUNTY OF Dubuque

This instrument was acknowledged before me on April 6, 2026, by Keith D. Gudenkauf and Susan M. Gudenkauf.



Meredith Grace Cusick
, Notary Public